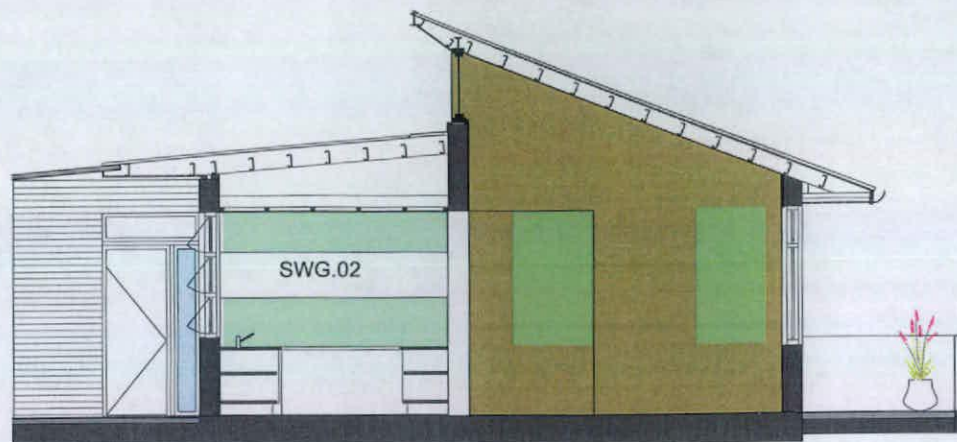
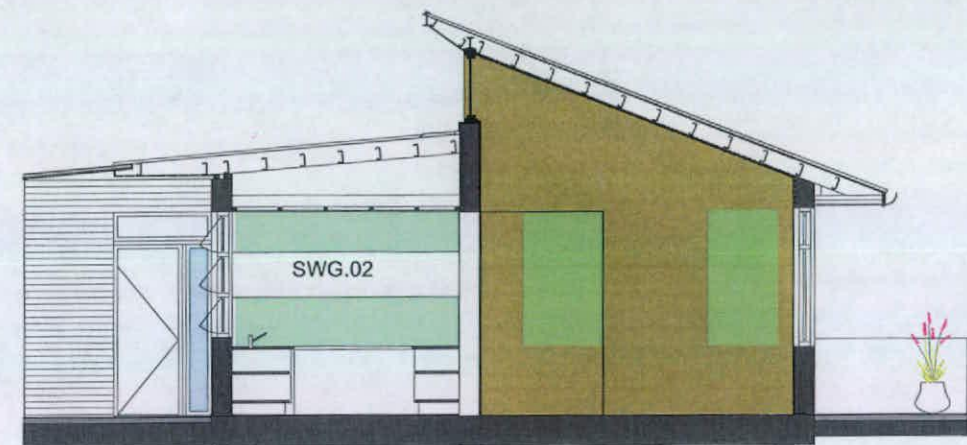


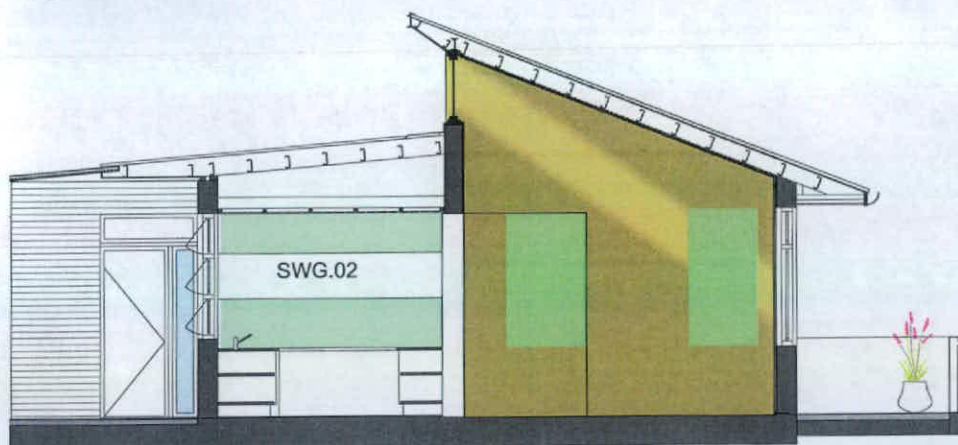
1 21 June (winter)
9am



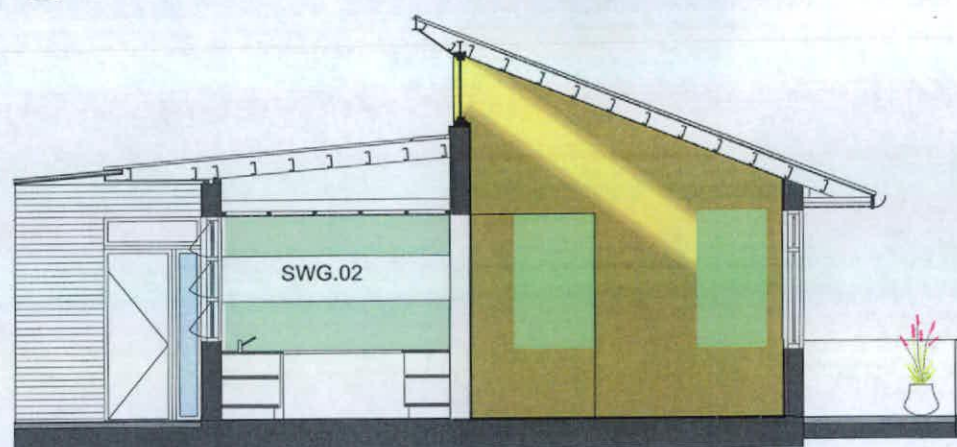
2 21 June (winter)
10am



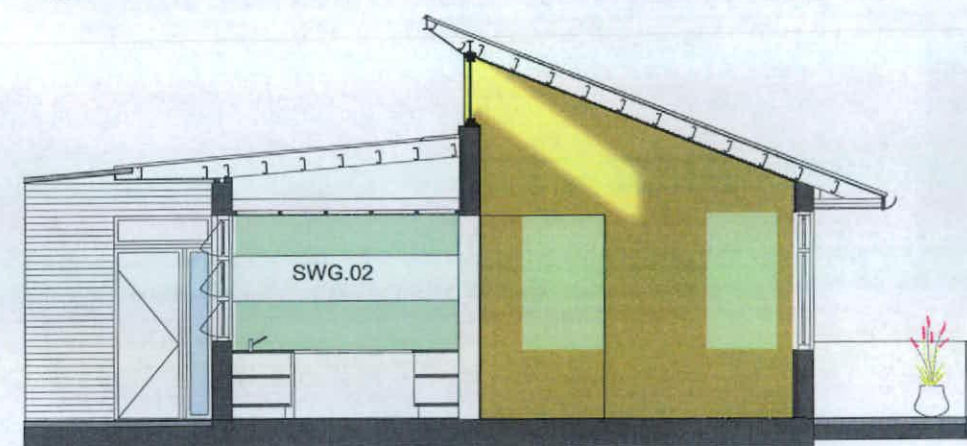
3 21 June (winter)
11am



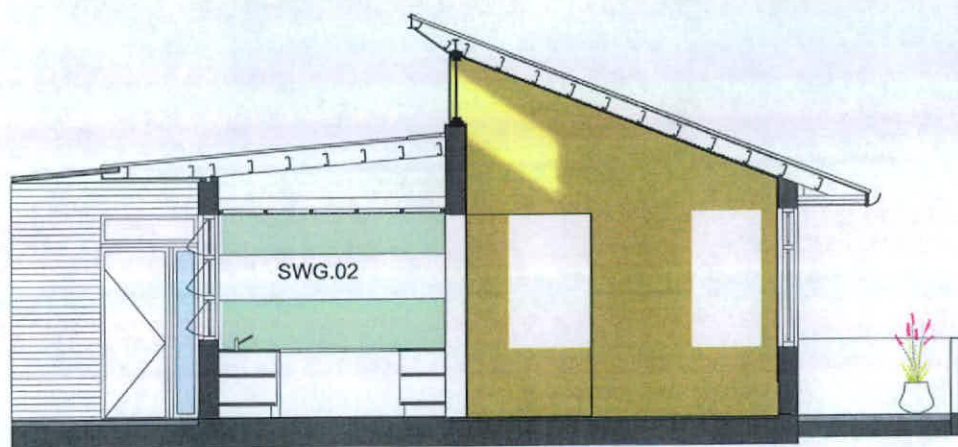
4 21 June (winter)
12 noon



5 21 June (winter)
1pm



6 21 June (winter)
2pm



7 21 June (winter)
3pm

RECEIVED
28 JAN 2011

STACKED HONED BLOCKWORK
to lift shafts, external stairways etc
(Designer Block Alabaster or similar)



RENDERED BALUSTRADE
white painted to match hoods



ALUMINIUM FRAMED GLAZING
anodised aluminium
(Universal Anodisers satin silver grey
finish or similar)



LIGHTWEIGHT CLADDING
to pop-up roof elements and various
AFW panels.
(Vitrapanel, FC sheet or similar)

EXISTING CHARACTER
The dominant existing character of face
brickwork is maintained in the proposal

Pop-up and playful roofs connect with those
existing playful elements expressed in the
nursing home, community and hostel buildings

Eaves gutters are common throughout the
village

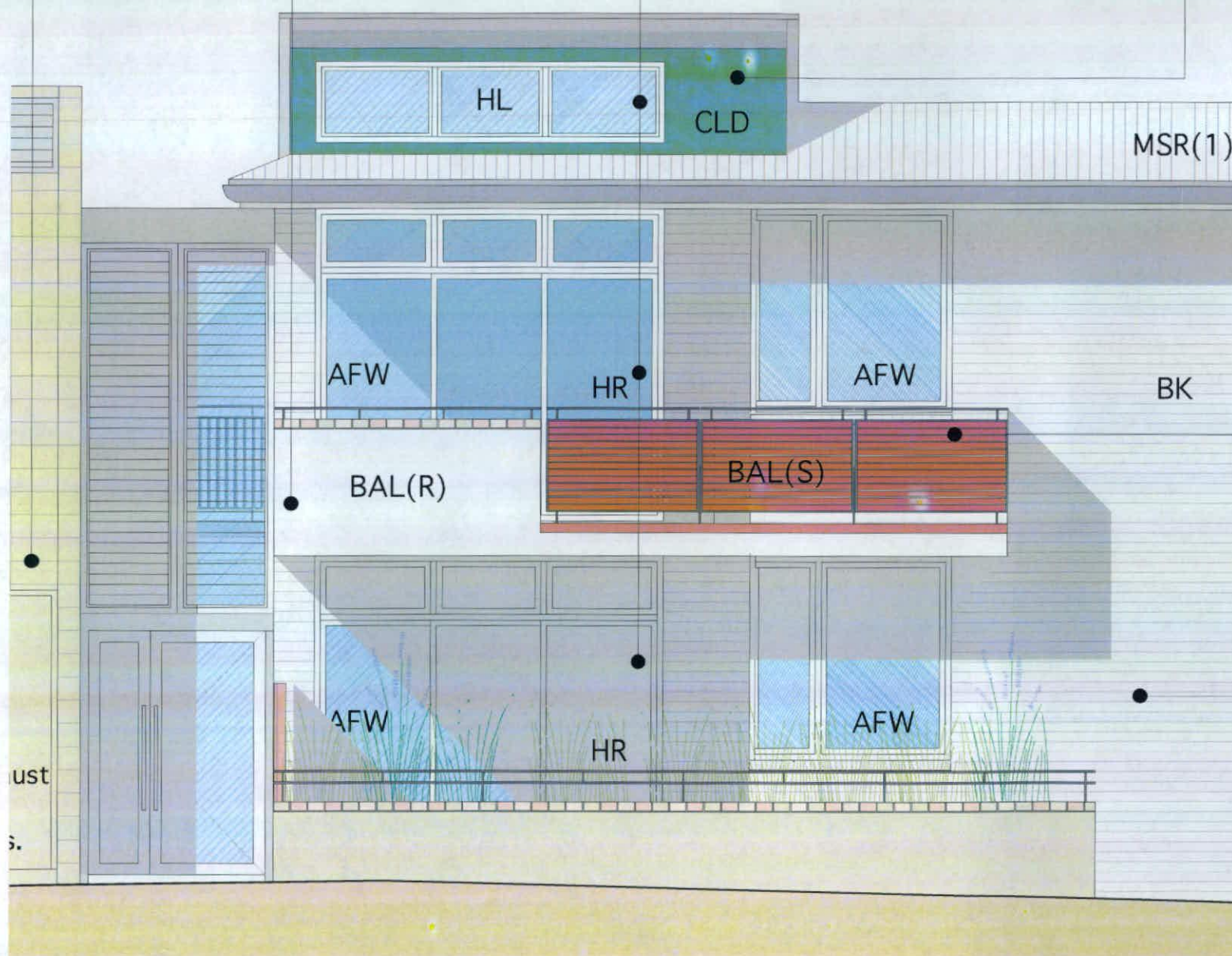
Concrete balconies, part of the expression of
the existing independent living units, are
partnered with slatted balconies

Existing two-storey lobby expression continues
in the proposed new buildings

Buildings to be read in a landscape setting with
specific attention to the needs of each individual
site

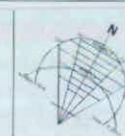
Existing community spaces to be enhanced by
the proposed new courtyard adjacent to the
kiosk and coffee shop

New gardens contribute to the variety of spaces
already existing at the village - some for
quiet contemplation, others for socialising



SLATTED BALUSTRADE
Powder coated aluminium

FACE BRICKWORK
Mixed palette of Bowral dry pressed
bricks



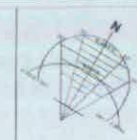


RISK ASSESSMENT CHECKLIST	
Noise	
Issues:	
- Nature of noise generating works:	Excavation (soil and rock to future geotechnical investigations); construction vehicles; general construction noise for low-rise masonry construction (to future Acoustic investigations and requirements)
- Potential noise receptors:	1) Residents on site residing in existing ILUs; 2) Residents using the Community Facilities and 3) Single neighbour to the west at Stanhope Road.
- Proximity of works to noise receptors:	1) approx 5.7m at closest point to nearest resident (Croquet common stair to existing ILU to the east) 2) approx 1.5m at closest point (South West lift shaft to Community Facility WC's), 2.5m (at N-E corner to Meeting Room), and generally 4m (South West ILU to Activities Room) 3) approx 4.5m at closest point (Stanhope to western neighbour bay window) generally min 5.5m
Dust	
Issues:	
- Dust Sources:	Three construction sites within the Village (Stanhope, Croquet and South West)
- Potential dust receptors:	As above
- Proximity of works to dust receptors:	As above
- Extent of exposed earth and duration of time exposed:	To future detail
- Wind conditions:	Refer Site analysis
- Refer Civil Engineer's documentation for preliminary measures to address dust.	
- Able to future strategy to be prepared in consultation with Aevum and the Residents regarding other measures that may be offered.	
Erosion and Sediment	
Issues:	
Refer Civil Engineer's documentation	
- Erosion and sediment sources:	
- Potential erosion and sediment receptors:	
- Proximity of works to erosion and sediment receptors:	
- Extent of exposed earth and duration of time exposed:	To future detail
- Soil type and erosivity:	To future geotechnical investigations
- Slope:	refer Survey
- Site drainage regime:	
- Rainfall:	
- Vehicle movements on and off site:	Two options identified and will be to future Construction Management Plan
Waste	
Issues: Refer Waste Management Plan	
- Nature of waste to be generated:	
- Presence of waste on site prior to work commencement:	
- Quantity of waste anticipated:	
- Potential waste receptors:	
- Proximity to waste receptors:	
Flora/Fauna	
Issues: Refer Arborist's Report	
- Types of flora/fauna:	
- Vulnerability of flora/fauna:	
- Proximity of works to flora/fauna:	
- Work activities which may threaten flora/fauna:	
- Potential impacts on flora/fauna:	



KEY

- Construction vehicle access - Option 1
- - - Construction vehicle access - Option 2
- Likely extent of construction fencing
- Likely extent of construction hoarding required
- Basement
- Bpoundary



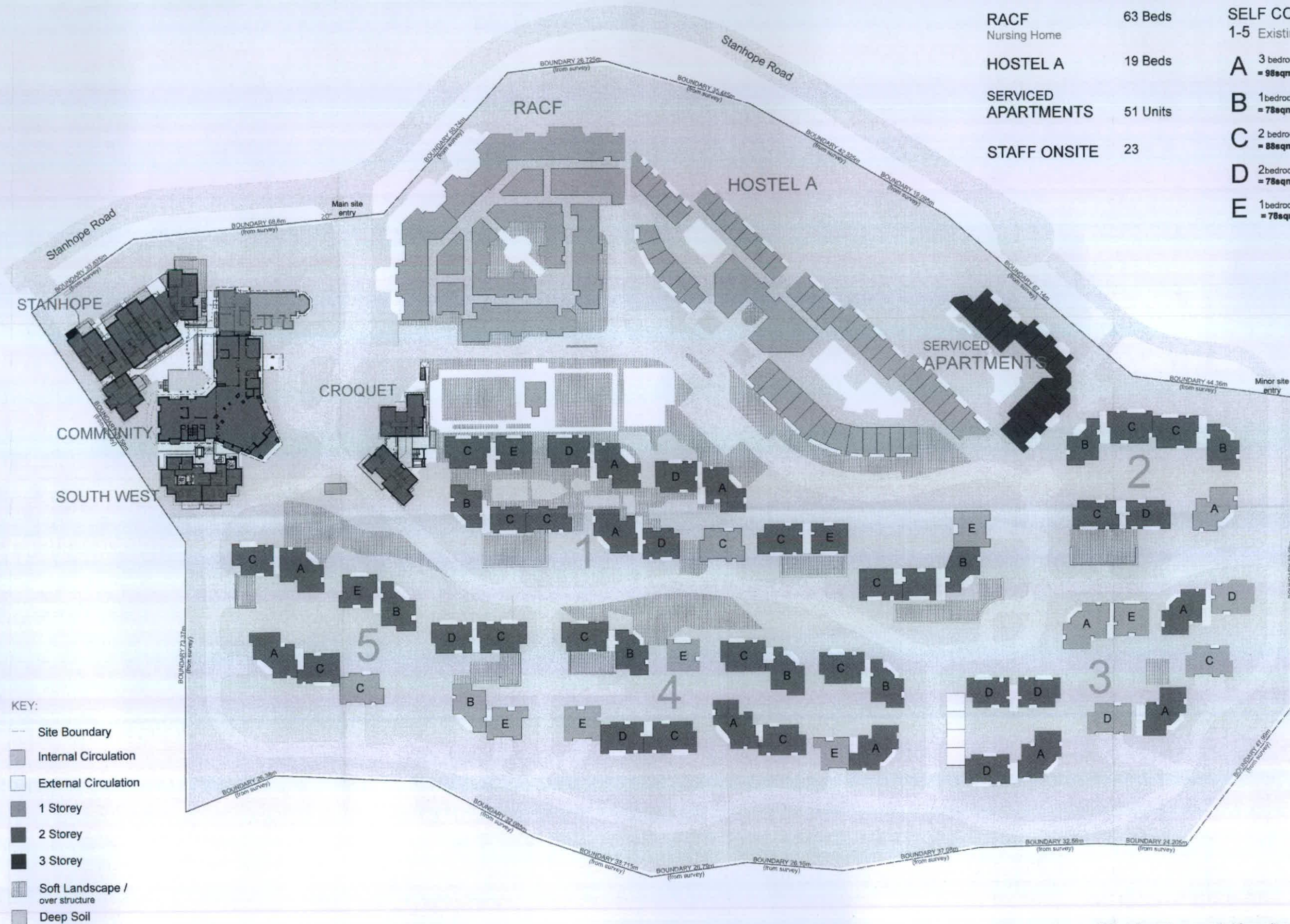
RACF	63 Beds
Nursing Home	
HOSTEL A	19 Beds
SERVICED APARTMENTS	51 Units
STAFF ONSITE	23

SELF CONTAINED DWELLINGS

1-5 Existing Unit types

A	3 bedroom 2 bathroom = 98sqm + 16sqm balcony.	- 22
B	1 bedroom, 1 bathroom + Study = 78sqm + 12sqm balcony	- 17
C	2 bedroom 2 bathroom = 88sqm + 12sqm balcony	- 35
D	2 bedroom 2 bathroom = 78sqm + 12sqm balcony	- 20
E	1 bedroom 1 bathroom = 78sqm + 12sqm balcony	- 14

TOTAL 108 Units



N.B. Information compiled from site survey and Civil drawings

hill thalis

18/18, S. 68-77 Northcott Ave.
Surry Hills NSW 2000 Australia
T 02 921 4224 F 02 928 3171
E cthalis@thalis.com.au
W www.thalis.com.au

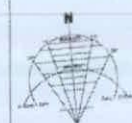
Low impact development only
Do not build
Consult with relevant
authorities requirements
Comply with the Building
Code of Australia
Comply with all relevant
Australian standards

LEGEND

APW	Aluminium framed door and window system
BAL(M)	Steel balustrade to BCA requirements
BAL(R)	Rendered balustrade to BCA requirements
BAL(S)	Stained balustrade to BCA requirements
BOL	Bollard
BR	Face brickwork
BLK	Stacked hollow blockwork
CBD	Storage cupboard
CLD	Lightweight cladding
DB	Distribution board to electrical engineer's reqs
DP	Downpipe to hydraulic engineer's reqs

E/C	Electrical/Communications board to electrical engineer's reqs
FHB	Fire hydrant booster assembly to hydraulic engineer's reqs
FHR	Fire hose reel to hydraulic engineer's reqs
GD	Grated drain
HL	Highlight window
HR	Handrail to BCA requirements
LA	Landscape area to landscape architect's reqs
LV	Louvered vent to mechanical engineer's reqs
LB	Letter boxes to statutory reqs
MSR(1)	Metal roof sheet
MSR(2)	Roof sheet

NOTE: All areas, yields and calculations are preliminary and indicative only and subject to detailed and further survey, design and client and consultant input and advice.



ISSUE DATE AMENDMENT

DA 15.10.10 Issue to KMC

DEVELOPMENT APPLICATION
New Independent Living Units
Lourdes Village
95 Stanhope Road, Killara

For Aevum Limited

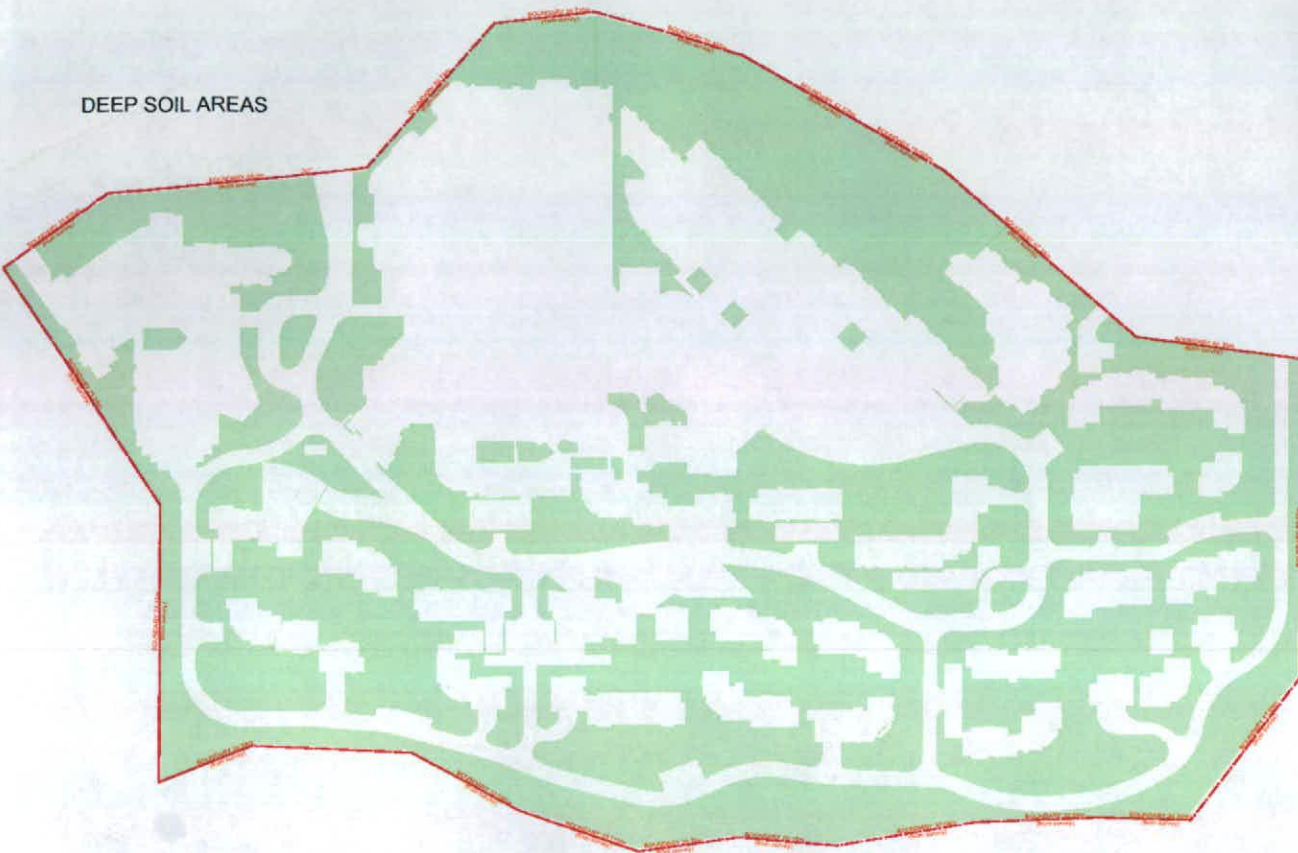
TITLE
Site Plan

ISSUE	SCALE	DATE	DRAWN:	CHECKED:
DA	1:500 @ A1	01.10.10	MO	PT
0	1	5		
1:100 @ A1				10 metres

DWG NO
DA7.1

RECEIVED
18 OCT 2010

DEEP SOIL AREAS



Site Area (from survey)

52 909 sqm

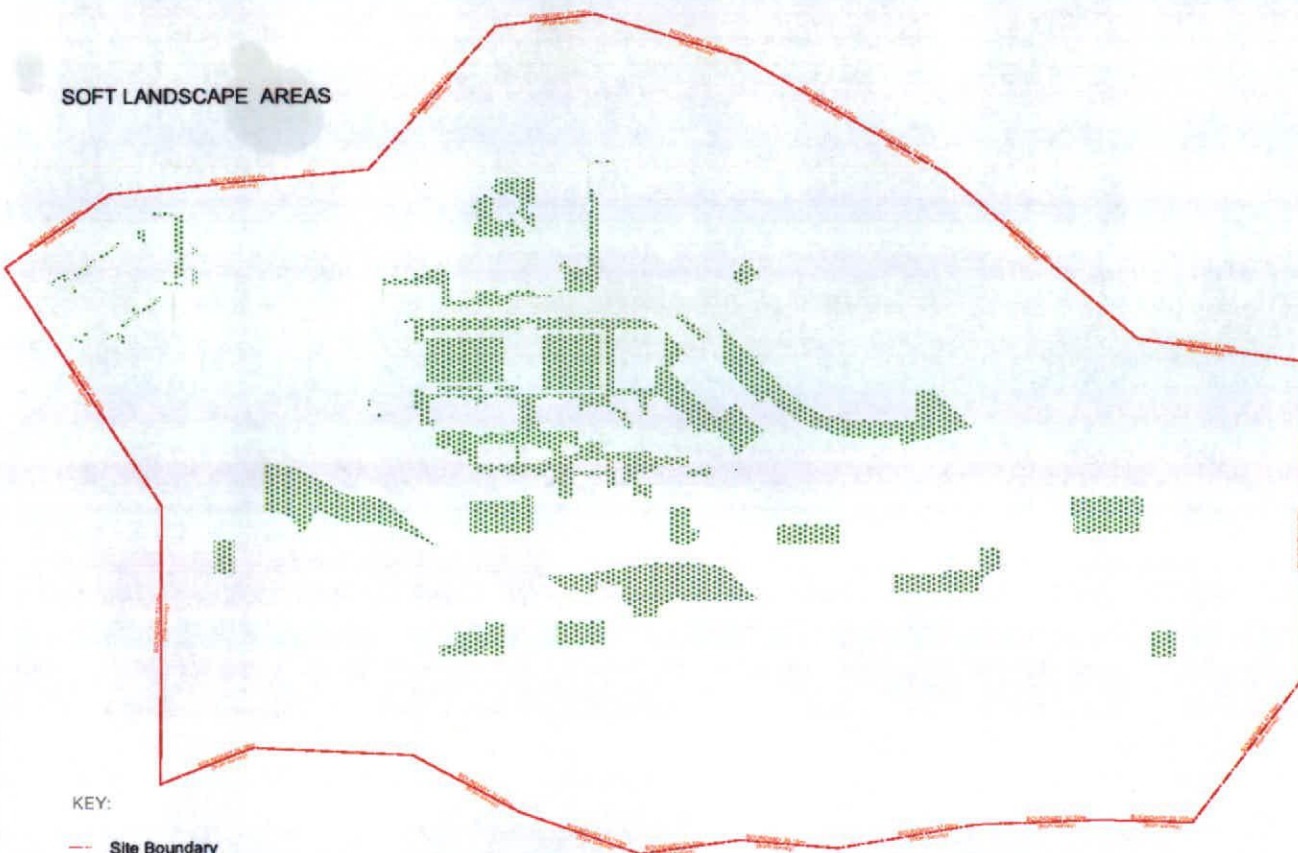
% of Site Area

Deep Soil

24 621 sqm

47%

SOFT LANDSCAPE AREAS



Soft Landscape (incl. over structure)

4017 sqm

7.6%

Total Landscaped Area

(Deep Soil + Soft Landscape) = 24 621 + 4017 28 638 sqm

54%

KEY:

- Site Boundary
- Soft Landscape/over structure
- Deep Soil

N.B. Information compiled from site survey and Civil drawings

RECEIVED
18 OCT 2010

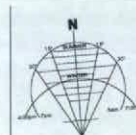
hill thalis
ARCHITECTURE + URBAN PROJECTS PTY LTD
102/103 Sturt Street, Sydney NSW 2000 Australia
T 02 9211 6276 F 02 9281 3171
E admin@hillthalis.com.au
www.hillthalis.com.au

URVLS 5.68-72 Westworth Ave
Sunny Hills NSW 2030 Australia
T 02 9211 6276 F 02 9281 3171
E admin@hillthalis.com.au
www.hillthalis.com.au

LEGEND
AFW Aluminium framed door and window system
BAL(M) Steel balustrade to BCA requirements
BAL(R) Rendered balustrade to BCA requirements
BAL(S) Slatted balustrade to BCA requirements
BOL Bolland
BR Face brickwork
BLK Stacked honed blockwork
CBD Storage cupboard
CLD Lightweight cladding
DB Distribution board to electrical engineer's reqs
DP Downpipe to hydraulic engineer's reqs

E/C Electrical/Communications board to electrical engineer's reqs
FHB Fire hydrant booster assembly to hydraulic engineer's reqs
FHR Fire hose reel to hydraulic engineer's reqs
GD Grated drain
HL Highlight window
HR Handrail to BCA requirements
LA Landscape area to landscape architects reqs
LV Louvered vent to mechanical engineer's reqs
LB Letter boxes to statutory reqs
MSR(1) Metal roof sheet
MSR(2) Roof sheet

PS Privacy screen
R Render
RS Roller shutter to mechanical engineer's reqs
RWAT Rainwater tank to civil engineer's reqs
SK Skylight
SVR Services riser (E/H/M denotes to electrical/hydraulic/mechanical engineers' reqs respectively)
NOTE:
All areas, yields and calculations are preliminary and indicative only and subject to detailed and further survey, design and client and consultant input and advice.



ISSUE	DATE	AMENDMENT
DA	15.10.10	Issue to KMC

DEVELOPMENT APPLICATION
New Independent Living Units
Lourdes Village
95 Stanhope Road, Killara
For Aevum Limited

TITLE				
Deep Soil / Landscape				
ISSUE	SCALE	DATE	DRAWN:	CHECKED:
DA	1:1000 @ A1	01.10.10	MO	PT
0	1	5		10
1:100 @ A1			metres	

DWG NO
DA7.3

NOTE; This drawing does not represent all the deep soil and soft landscaping on the site. This is a conservative figure.

SITE AREA	52 909 sqm	
DEEP SOIL shown	10 522 sqm	= 19.9%
TOTAL LANDSCAPE AREA shown (deep soil and soft landscape)	23 758 sqm	= 44.9%



RECEIVED
28 JAN 2011

KEY:

- Site Boundary
- Soft Landscape made up of deep soil under 3m wide and landscape over structure
- Deep Soil over 3m wide

N.B. Information compiled from site survey and Civil drawings

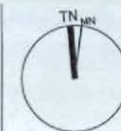
hill thalis
CHITECTURE + URBAN PROJECTS PTY LTD
LEVEL 5, 66-72 Wentworth Ave
Surrey Hills NSW 200 Australia
T 02 9211 4276 F 02 9261 3071
E admin@hillthalis.com.au
www.hillthalis.com.au

Use figured dimensions only
Do not scale
Comply with relevant
Authorised requirements
Comply with the Building
Code of Australia
Comply with all relevant
Australian Standards

LEGEND
APW Aluminium framed door and window system
BAL(M) Steel balustrade to BCA requirements
BAL(R) Rerendered balustrade to BCA requirements
BAL(S) Slatted balustrade to BCA requirements
BOL Bollard
BK Face brickwork
BLK Stacked honed blockwork
CSO Storage cupboard
CLD Lightweight cladding
DB Distribution board to electrical engineer's reqs
DP Downpipe to hydraulic engineer's reqs

E/C Electrical/Communications board to electrical engineer's reqs
FHB Fire hydrant booster assembly to hydraulic engineer's reqs
FHR Fire hose reel to hydraulic engineer's reqs
GD Grated drain
HL Highlight window
HR Handrail to BCA requirements
LA Landscape area to landscape architect's reqs
LV Louver vent to mechanical engineer's reqs
LB Letter boxes to statutory reqs
MSR(1) Metal roof sheet
MSR(2) Roof sheet

PS Privacy screen
R Render
RS Roller shutter to mechanical engineer's reqs
RWT Rainwater tank to civil engineer's reqs
SK Skylight
SVR Services riser (EH/M denotes to electrical/hydraulic/mechanical engineers' reqs respectively)
NOTE: All areas, yields and calculations are preliminary and indicative only and subject to detailed and further survey, design and client and consultant input and advice.



ISSUE DATE AMENDMENT
A 17.01.11
B 21.01.11
Consultant issue
Preliminary issue to Client

DEVELOPMENT APPLICATION
New Independent Living Units
Lourdes Village
95 Stanhope Road, Killara
For Aevum Limited

TITLE
Main areas of Deep Soil / Landscape
ISSUE SCALE DATE DRAWN: CHECKED:
B 1:500 @ A1 17.01.11 MO PT
0 5 10 20 40
1:500 @ A1 metres

DWG NO
DA7.4



Existing Council Garbage Waste collection truck route - one way route.



Existing Council Garbage Waste collection points.

Pick up frequency: Waste Bins - Twice a week

Recycling Bins - Once a week

Average production of waste per dwelling is 2 garbage bags per week, including recycling.



Existing Council Garbage Waste collection points with added bins from proposed new development.

1. Bins from Stanhope Rd units and cafe bins.

Frequency and numbers - Waste - Maximum additional 5 bins from units and 2 bins from Cafe/Comm. twice weekly

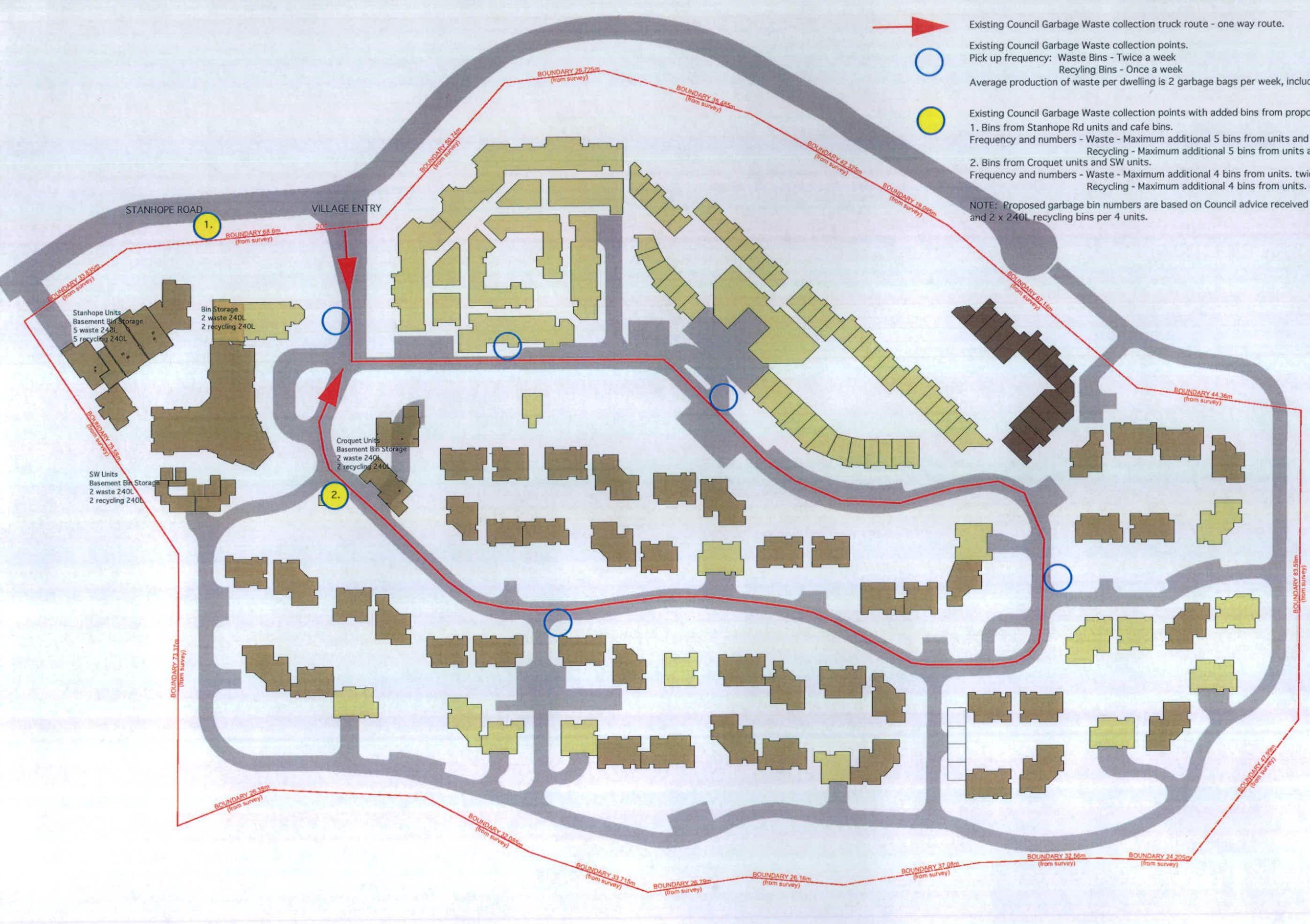
Recycling - Maximum additional 5 bins from units and 2 bins from Cafe/Comm. once weekly

2. Bins from Croquet units and SW units.

Frequency and numbers - Waste - Maximum additional 4 bins from units. twice weekly

Recycling - Maximum additional 4 bins from units. once weekly

NOTE: Proposed garbage bin numbers are based on Council advice received 13.12.10 - 1 x 240L waste bin per 2 units and 2 x 240L recycling bins per 4 units.



28 JAN 2011

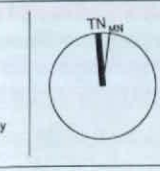
will thalis
ARCHITECTURE + URBAN PROJECTS PTY LTD
102/111 6276 F 02 9281 3171
www.willthalis.com.au

LEVEL 5, 68-72 Wentworth Ave
Sydney NSW 2009 Australia
102/111 6276 F 02 9281 3171
www.willthalis.com.au

LEGEND
AFW Aluminium framed door and window system
BAL(M) Stair balustrade to BCA requirements
BAL(R) Rendered balustrade to BCA requirements
BAL(S) Slatted balustrade to BCA requirements
BCL Bollard
BCK Face brickwork
BLK Stacked honed blackwork
CSD Storage cupboard
CLD Lightweight cladding
DB Distribution board to electrical engineer's reqs.
DP Downpipe to hydraulic engineer's reqs

E/C Electrical/Communications board to electrical engineer's reqs
FHB Fire hydrant booster assembly to hydraulic engineer's reqs
FHR Fire hose reel to hydraulic engineer's reqs
GD Highlight window
HL Handrail to BCA requirements
HR Landscape area to landscape architect's reqs
LA Louvered vent to mechanical engineer's reqs
LB Letter boxes to statutory reqs
MSR(1) Metal roof sheet
MSR(2) Roof sheet

PS Privacy screen
R Roller shutter to mechanical engineer's reqs
RS Rainwater tank to civil engineer's reqs
RWT Skylight
SK Services riser (E/H/M denotes to electrical/hydraulic/mechanical engineers' reqs respectively)
NOTE: All areas, yields and calculations are preliminary and indicative only and subject to detailed and further survey, design and client and consultant input and advice.

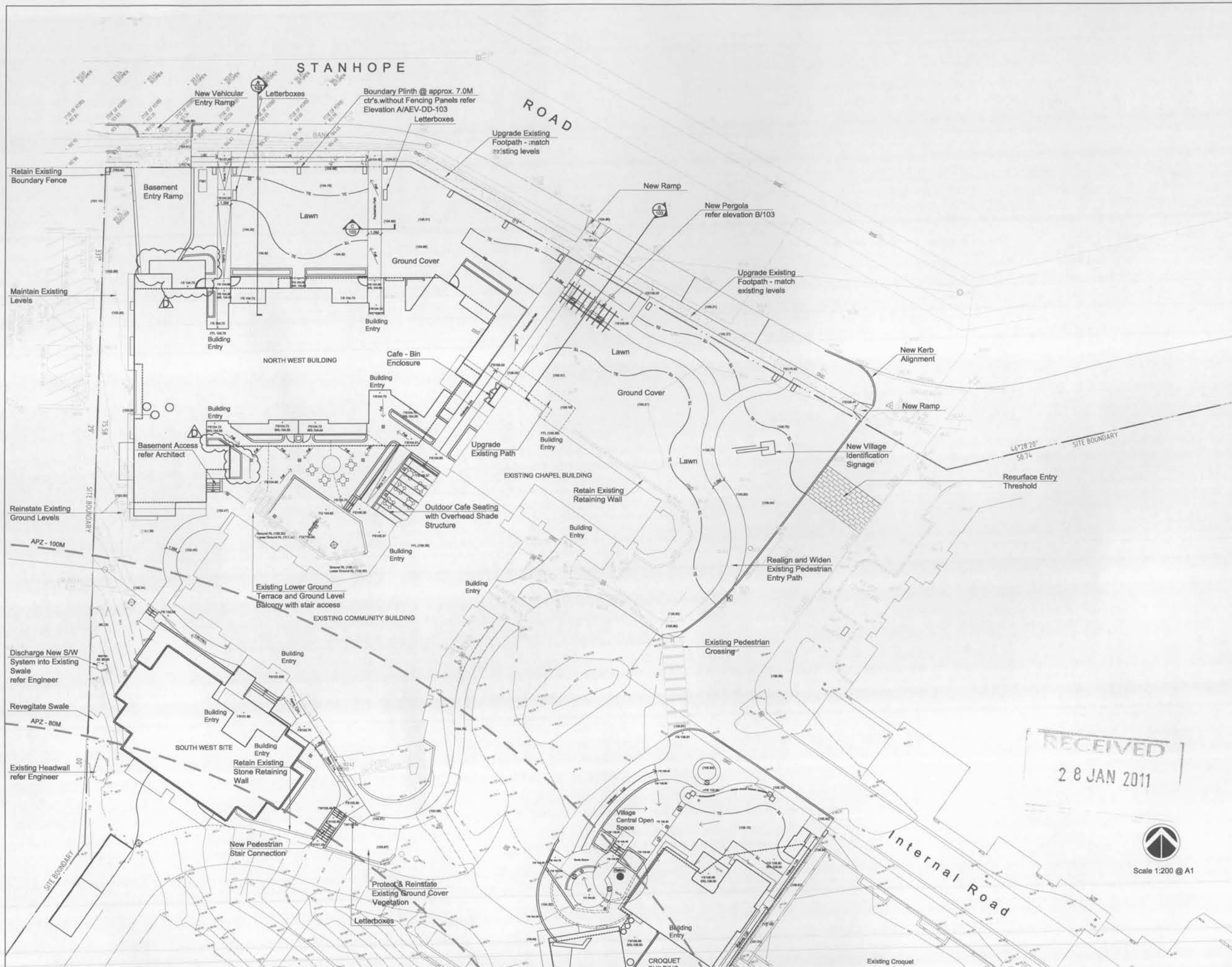


ISSUE	DATE	AMENDMENT
A	17.01.11	Consultant issue

DEVELOPMENT APPLICATION
New Independent Living Units
Lourdes Village
95 Stanhope Road, Killara
For Aevum Limited

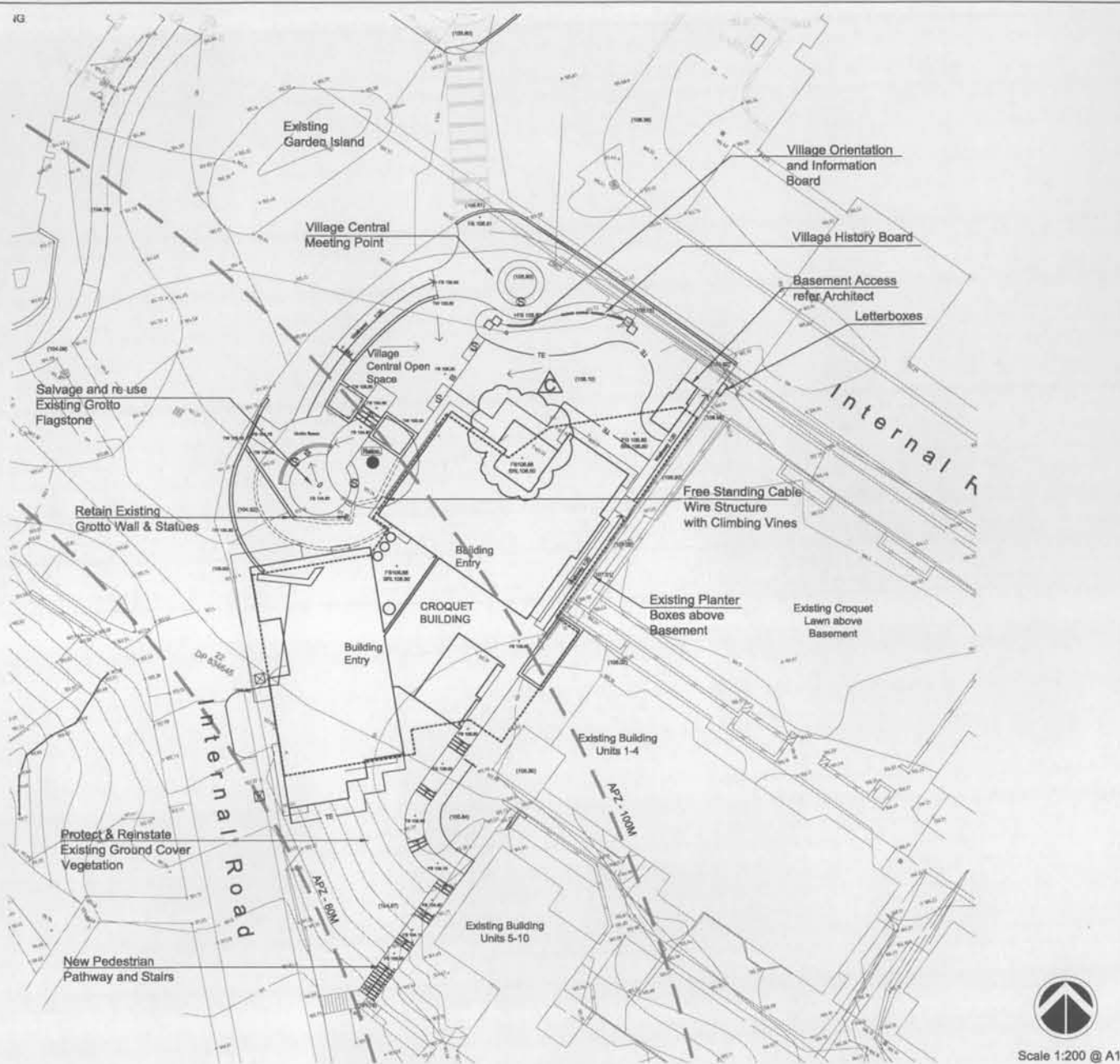
TITLE	SCALE	DATE	DRAWN	CHECKED
Waste Collection and storage	1:500 @ A1	17.01.11	JK	PT
ISSUE	SCALE	DATE	DRAWN	CHECKED
B	1:500 @ A1	17.01.11	JK	PT

DWG NO
DA7.5

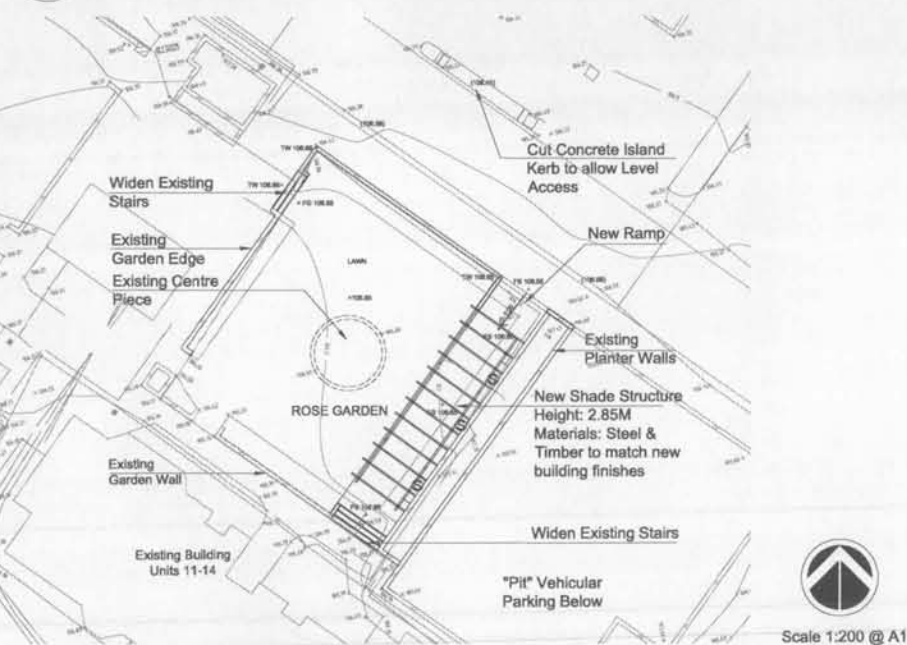


LEGEND																							
GENERAL																							
	PROPERTY BOUNDARY																						
	ASSET PROTECTION ZONE																						
	BASEMENT EDGE - BELOW																						
	BUILDING - OVERHEAD																						
	0.5M CONTOURS																						
	EXISTING UTILITIES																						
	ENGINEERED DRAINAGE PIT																						
	GARDEN WALL																						
	NEW CONCRETE KERB Refer Civil Engineer																						
	UPGRADE PUBLIC FOOTPATH																						
	NEW VEHICULAR PAVEMENT																						
	GARDEN EDGE TE																						
	BENCH SEATING																						
	GARDEN SCULPTURE ELEMENT																						
GRADING & DRAINAGE																							
	EXISTING LEVEL																						
	TOP OF WALL																						
	FINISHED SURFACE																						
	FINISHED GRADE																						
	FINISHED FLOOR LEVEL																						
	SLAB RELATIVE LEVEL																						
TREE RETENTION & REMOVAL																							
	TREES TO BE RETAINED AND PROTECTED - REFER ARBORIST CONSTRUCTION IMPACT ASSESSMENT																						
	NEW POSITION OF RELOCATED TREE																						
	TREE PROTECTION ZONE AS4907																						
<table border="1"> <tr> <td>26/01/11</td><td>D</td><td>REVISED DEVELOPMENT APPLICATION</td><td>VII</td></tr> <tr> <td>18/01/10</td><td>C</td><td>REVISED DEVELOPMENT APPLICATION</td><td>VII</td></tr> <tr> <td>30/09/10</td><td>B</td><td>DEVELOPMENT APPLICATION</td><td>VII</td></tr> <tr> <td>30/09/10</td><td>A</td><td>DEVELOPMENT APPLICATION</td><td>VII</td></tr> <tr> <td>DATE</td><td>ISSUE</td><td>AMENDMENT</td><td>BY</td></tr> </table>				26/01/11	D	REVISED DEVELOPMENT APPLICATION	VII	18/01/10	C	REVISED DEVELOPMENT APPLICATION	VII	30/09/10	B	DEVELOPMENT APPLICATION	VII	30/09/10	A	DEVELOPMENT APPLICATION	VII	DATE	ISSUE	AMENDMENT	BY
26/01/11	D	REVISED DEVELOPMENT APPLICATION	VII																				
18/01/10	C	REVISED DEVELOPMENT APPLICATION	VII																				
30/09/10	B	DEVELOPMENT APPLICATION	VII																				
30/09/10	A	DEVELOPMENT APPLICATION	VII																				
DATE	ISSUE	AMENDMENT	BY																				
PROJECT																							
LOURDES VILLAGE - KILLARA																							
CLIENT																							
LANDSCAPE ARCHITECT																							
1 BALLS HEAD ROAD WAVERTON, 2060 NSW SYDNEY, AUSTRALIA T: 61 2 8920 2588 F: 61 2 8920 2587 www.aevumstudio.com																							
DRAWING TITLE																							
General Notes & Grading Plan																							
APPROVED FOR RELEASE																							
DATE	DRAWN	CHECKED																					
28/01/11	VB	CG																					
PROJECT No.	DRAWING No.	ISSUE																					
AEV02	AEV02-DD-101	D																					
COPYRIGHT OF DESIGN SHOWN HERE IS RETAINED AND AUTHORITY FOR ANY REPRODUCTION, IF IN DOUBT ASK. FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT KEEP SUPERSEDED DRAWINGS ON SITE. COMPUTER DRAWING FILE: S:\AEV02 Lourdes Village\CAD																							

A PLAN 1 of 3 (NORTH WEST/SOUTH WEST BUILDINGS/VILLAGE ENTRY)



A PLAN 2 of 3 (CROQUET BUILDING /GROTTO SITE)



B PLAN 3 of 3 (ROSE GARDEN SITE)

LEGENDS	
GENERAL	
	PROPERTY BOUNDARY
	ASSET PROTECTION ZONE
	BASEMENT EDGE - BELOW
	BUILDING - OVERHEAD
	0.5M CONTOURS
	EXISTING UTILITIES
	ENGINEERED DRAINAGE PIT
	GARDEN WALL
	NEW CONCRETE KERB Refer Civil Engineer
	UPGRADE PUBLIC FOOTPATH
	NEW VEHICULAR PAVEMENT
	GARDEN EDGE TE
	BENCH SEATING
	GARDEN SCULPTURE ELEMENT
GRADING & DRAINAGE	
	(0.00) EXISTING LEVEL
	+TW 0.00 TOP OF WALL
	+FS 0.00 FINISHED SURFACE
	+FG 0.00 FINISHED GRADE
	+FPL 0.00 FINISHED FLOOR LEVEL
	+SRL 0.00 SLAB RELATIVE LEVEL
TREE RETENTION & REMOVAL	
	TREES TO BE RETAINED AND PROTECTED - REFER ARBORIST CONSTRUCTION IMPACT ASSESSMENT
	NEW POSITION OF RELOCATED TREE
	TREE PROTECTION ZONE AS4907

28/01/11	D	REVISED DEVELOPMENT APPLICATION	VB
18/10/10	C	REVISED DEVELOPMENT APPLICATION	VB
30/06/10	B	DEVELOPMENT APPLICATION	VB
30/06/10	A	DEVELOPMENT APPLICATION	VB
DATE	ISSUE	AMENDMENT	BY

LOURDES VILLAGE - KILLARA

CLIENT

aevum LIMITED

LANDSCAPE ARCHITECT

1 BALLS HEAD ROAD
WAVERTON, 2060 NSW
SYDNEY, AUSTRALIA
T: 61 2 8920 2586
F: 61 2 8920 2587
www.symstudio.com

sym studio

DRAWING TITLE

General Notes & Grading Plan

APPROVED FOR RELEASE

DATE DRAWN CHECKED

28/01/11 VB CG

PROJECT No. DRAWING No. ISSUE

AEV02 AEV02-DD-102 D

COPYRIGHT OF DESIGN SHOWN HERE IS RETAINED AND AUTHORITY FOR ANY REPRODUCTION, IF IN DOUBT ASK. FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT KEEP SUPERSEDED DRAWINGS ON SITE.

COMPUTER DRAWING FILE: SJAEV02 Lourdes Village.dwg

28 JAN 2011

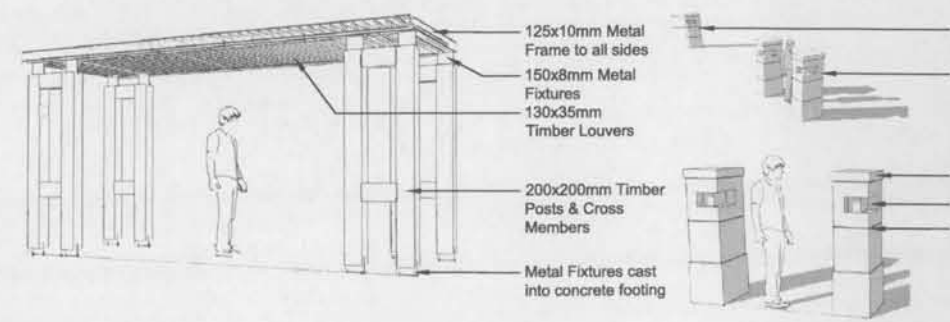


Design Intent: The structural elements of the landscape serve to integrate the existing village with the new. The building details that currently address Stanhope Road are expressed through the form and materials of the new garden structures.

Pergola: The structure design is an integration of old and new. The form of the large member timber posts and cross bracing reflect the entry pillars of the existing building while the permeable metal and timber trellis above provides lightweight protection from the sun.

Plinths: Residential scale plinths provide definition to the public/private boundary of the village while ensuring visual and physical permeability.

Reference Images:
Detail Photographs of
Existing Community
Building

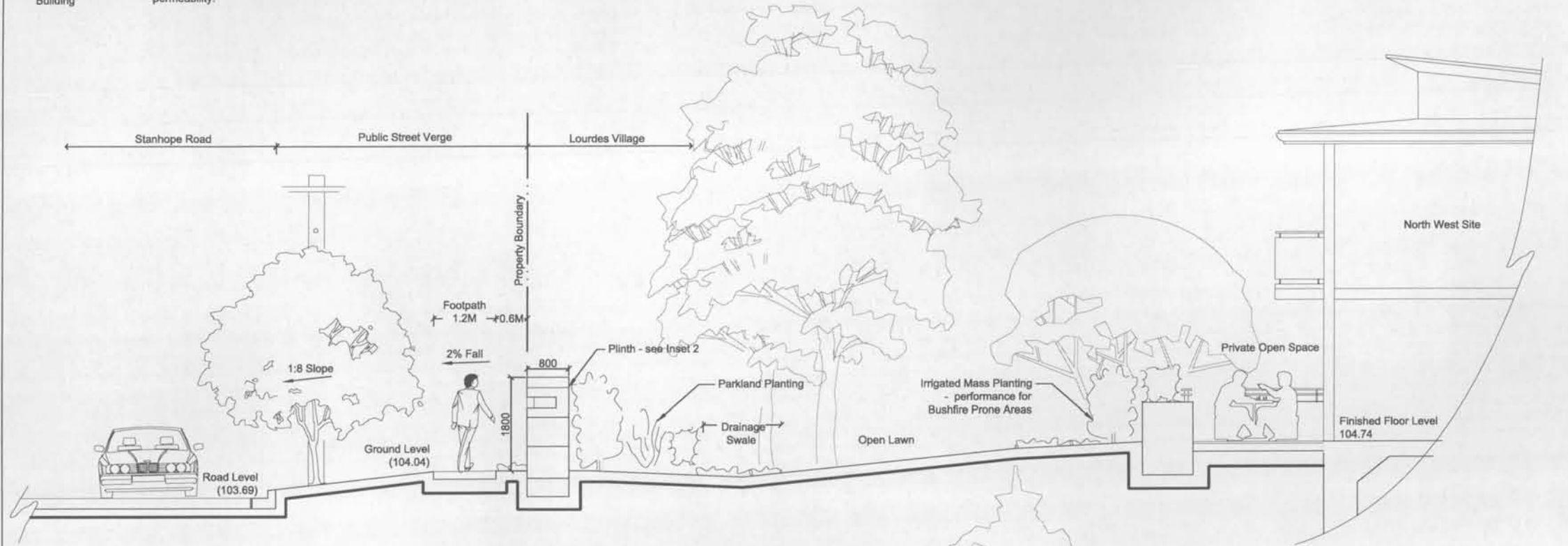
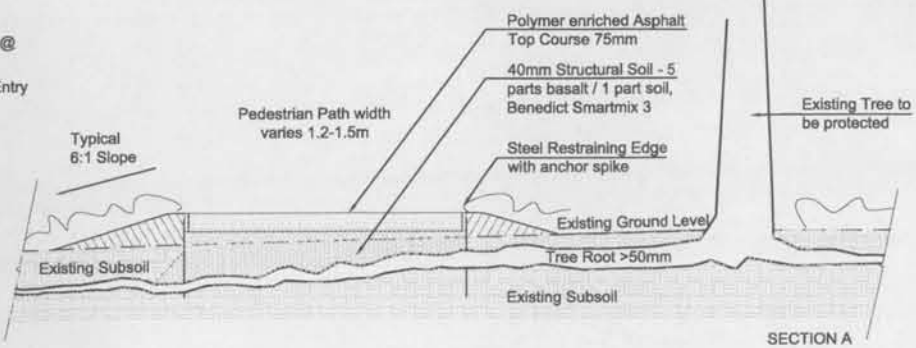


INSET 1 - PERGOLA

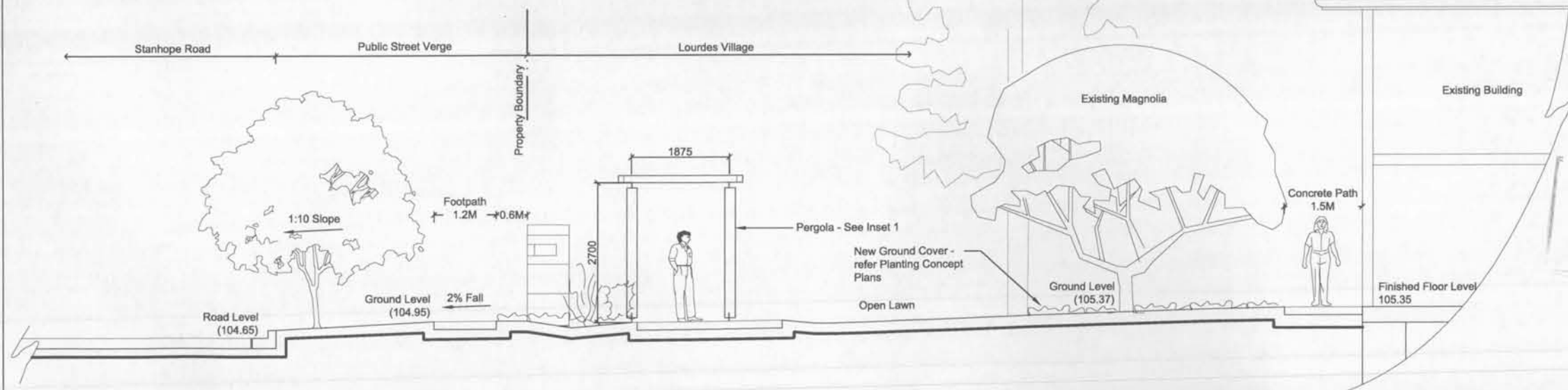
INSET 2 - TYPICAL PLINTHS



TYPICAL SECTION - PEDESTRIAN PATH OVER EXISTING TREE ROOTS
Scale 1:20 @ A1



A SECTION /ELEVATION A (STANHOPE ROAD TO NORTH WEST BUILDING)
Scale 1:50 @ A1



B SECTION /ELEVATION B (STANHOPE ROAD TO EXISTING BUILDING)
Scale 1:50 @ A1

LEGENDS

18/10/10	C	REVISED DEVELOPMENT APPLICATION	VB
30/05/10	B	DEVELOPMENT APPLICATION	VB
30/05/10	A	DEVELOPMENT APPLICATION	VB
DATE	ISSUE	AMENDMENT	BY

PROJECT
LOURDES VILLAGE - KILLARA

CLIENT



LANDSCAPE ARCHITECT

1 BALLS HEAD ROAD
WAVERTON, 2060 NSW
SYDNEY, AUSTRALIA
T: 61 2 8620 2598
F: 61 2 8620 2587
www.symstudio.com

sym studio

DRAWING TITLE
Landscape Details & Elevations

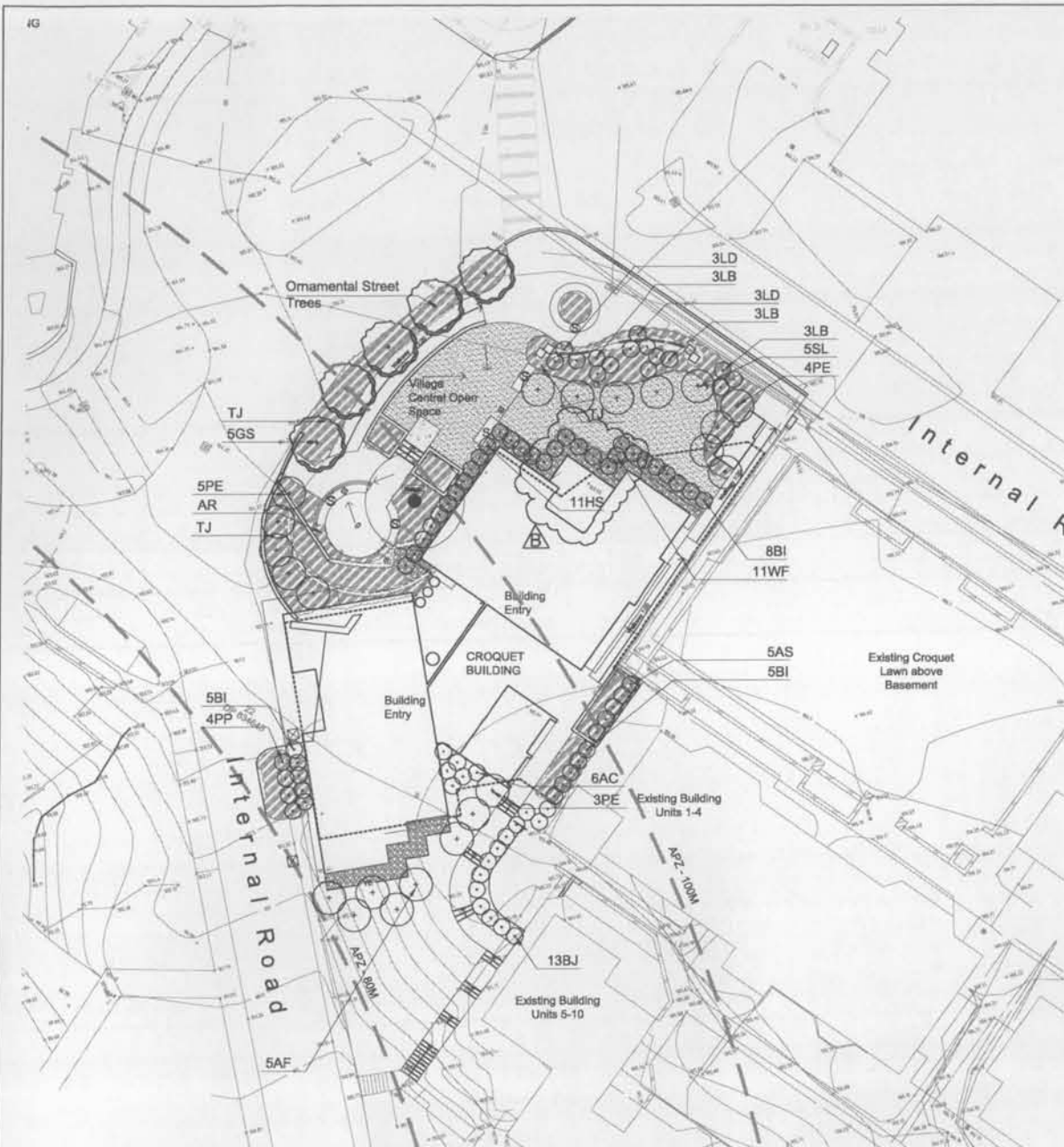
APPROVED FOR RELEASE

DATE	DRAWN	CHECKED
18/10/10	VB	CG

PROJECT No.	DRAWING No.	ISSUE
AEV02	AEV02-DD-103	C

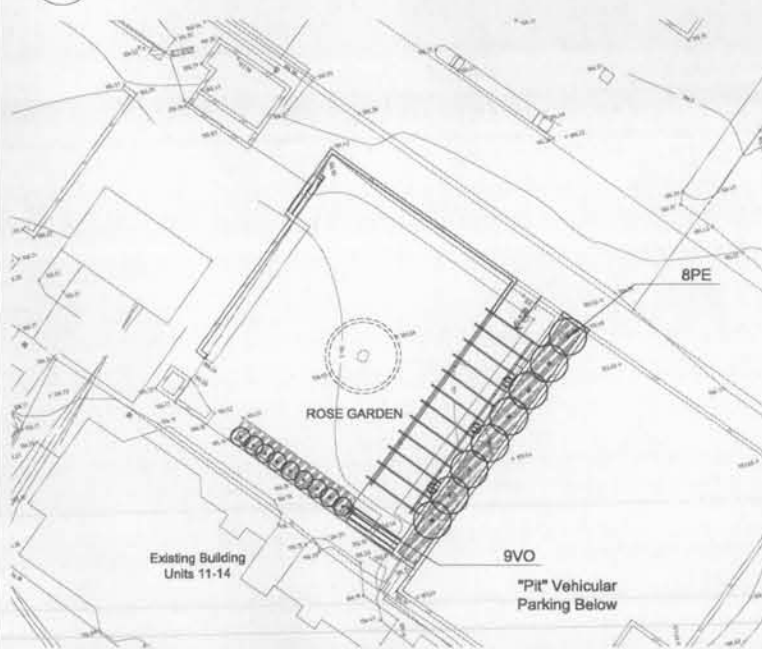
COPYRIGHT OF DESIGN IS OWNED HERE IS RETAINED AND AUTHORITY FOR ANY REPRODUCTION, IF IN DOUBT ASK, FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT KEEP SUPERSEDED DRAWINGS ON SITE.
COMPUTER DRAWING FILE: S:\AEV02 Lourdes Village\CAD

28 JAN 2011



Scale 1:200 @ A1

A PLAN 2 of 3 (CROQUET BUILDING / GROTTO SITE)



Scale 1:200 @ A1

B PLAN 3 of 3 (ROSE GARDEN SITE)

INDICATIVE PLANT SCHEDULE

TREES

ABB.	Botanical Name	Common Name	Pot Size	Mat. Height	Qty.
AS	Acmena smithii	Lilly Pilly	25L	6-8m	19
BI	Banksia integrifolia	Coastal Banksia	15L	8-15m	18
BM	Buckhousia myrtifolia	Grey Myrtle	25L	3-4m	9
GS	Gleditsia triacanthos "Shademaster"	Honeylocust	45L	5-8m	6
PC	Pistacia chinensis	Chinese Pistachio	45 L	6-10m	10
PE	Podocarpus elatus	Plum Pine	25L	10-40m	20
SG	Syncarpia glomulifera	Terpentine	45L	25-35m	7
SL	Syzgium luehmanii	Small Leaved LP	45L	5-8m	8

Additional Trees (not shown on plan): 3 Syncarpia glomulifera to be planted in north east sector of the Village.

SHRUBS AND GROUND COVERS

ABB.	Botanical Name	Common Name	Pot Size	Mat. Height	Qty. / Spacing
AF	Acacia falcata	Hickory Wattle	300mm	2-4m	5
AD	Allocasuarina distyla	Casuarina	200mm	2-3m	9
BJ	Buxus microphylla vav. japonica	Buxus	200mm	1.0m	13
DE	Doryanthes excelsa	Gymea Lily	25L	3.0m	28
CA	Correa alba	White Correa	300mm	1.5-2m	12
GF	Gardenia augusta "Florida"	Florists Gardenia	300mm	2-3m	12
PL	Persoonia linearis	Geebung	200mm	3-5m	9
PX	Philodendron "Xanadu"	Xanadu Philodendron	200mm	0.5m	18
PMM	Pittosporum tobira "Miss Muffet"	Miss Muffet tobira	300mm	1-2m	19
SRF	Syzygium luehmanii "Royal Flame"	Lilly pilly Royal Flame	300mm	2-3m	44
VO	Viburnum odoratissimum	Sweet Viburnum	45L	1.5-2m	29
WF	Westringia Fruticosa	Coastal Rosemary	5/25L	1.5-2m	11
WWG	Westringia "Wynabbie Gem"	Native Rosemary	5/25L	1.5-2m	46

ACCENT & SEASONAL COLOUR

AR	Ajuga reptans "Chocolate Chip"	Chocolate Chip Bugle	100mm	-	43
CM	Chrysanthemum maximum	Shasta Daisy	5/15L	-	26
CR	Cycas revoluta	Cycad	5/35L	-	3
DB	Diets grandiflora "Bicolour"	Wild Iris	10L	-	20
LD	Lavendula dentata	Lavender	5/25L	-	54
LB	Leucophyta brownii	Cushion Bush	5/25L	-	12
PP	Phormium tenax "Purpurea"	New Zealand Flax	5/35L	-	4

FERNS & ALLIES

AC	Alpinia caerulea	Native Ginger	150mm tube	1-1.5m	41
CD	Calceolaria dubia	Rainbow Fern	150mm tube	0.5m	50
DA	Dicksonia antarctica	Tree Fern	25L	8-12m	17

GROUND COVERS, GRASSES & SEDGES

CAP	Carex appressa	Tall Sedge	100mm tube	-	0.5m
CM	Clivea miniata	Kafir Lily	150mm	-	0.75m
DC	Dianella caerulea s. lat	Blue Flax Lily	100mm tube	-	35
DLJ	Dianella "Little Jess"	Flax Lily	100mm tube	-	0.5m
GRP	Grevillea juniperina "Red Prostrate"	Grevillea	150mm tube	-	0.75m
HV	Hardenbergia violacea	Native Sansparilla	100mm tube	-	1.0m
IN	Isolepis nodosa	Knobby Club Rush	150mm tube	-	0.4m
JU	Juncus usitatus	Common Rush	100mm tube	-	44
LL	Lomandra longifolia	Spiny Mat-rush	100mm tube	-	14
LT	Lomandra longifolia "Tanika"	Dwarf Mat-rush	150mm tube	-	0.4m
LM	Lomandra multiflora spp. multiflora	Multiflora	100mm tube	-	46
PN	Pennisetum alopecuroides "Naffrey"	Black Lea	150mm tube	-	0.6m
PE	Poa labillardierei "Eskdale"	Eskdale	150mm tube	-	0.6m
TA	Themeda Australis "Mingo"	Mingo Grass	100mm tube	-	0.25m
TJ	Trachelosporum jasminoides	Star Jasmine	100mm	-	1.0m
XA	Xanthorrhoea arborea	Broad L. Grass Tree	300mm	-	8

CLIMBERS / SCRAMBLERS

DR	Dichondra repens	Kidney Weed	100mm tube	-	28
HS	Hibbertia scandens	Guinea Flower	150mm tube	-	As Shown
PPA	Pandorea Pandorana	Wonga Wonga Vine	200mm	-	7

LEGENDS

GENERAL

- PROPERTY BOUNDARY
- ASSET PROTECTION ZONE
- BASEMENT EDGE - BELOW
- PROPOSED BUILDING - OVERHEAD
- GARDEN EDGE
- COBBLE MULCH
Design for Bushfire Areas
- NEW LAWN (Turf)
Couch / Buffalo

BASIX CERTIFICATION INFORMATION

- AREA OF INDIGENOUS LOW WATER USE SPECIES incl. 6 X EXISTING SYNCARPIA GLOMIFERA = 20m2
- COMMON AREA OF GARDEN MINUS AREA OF LOW WATER - AS ABOVE (135M2)
(VEGETATED AREA EXCLUDING LAWN)
- ALTERNATIVE WATER USE (AREA OF COMMON LANDSCAPE)

TREE RETENTION & REMOVAL

- TREES TO BE RETAINED AND PROTECTED - REFER ARBORIST CONSTRUCTION IMPACT ASSESSMENT
- NEW POSITION OF RELOCATED TREE
- TREE PROTECTION ZONE AS4907

28/01/11	B	REVISED DEVELOPMENT APPLICATION	VB
18/10/10	A	REVISED DEVELOPMENT APPLICATION	VB
DATE	ISSUE	AMENDMENT	BY

LOURDES VILLAGE - KILLARA

CLIENT



LANDSCAPE ARCHITECT

1 BALLS HEAD ROAD
WAVERTON, 2060 NSW
SYDNEY, AUSTRALIA
T: 61 2 8620 2596
F: 61 2 8620 2597
www.aevum.com.au

DRAWING TITLE

Landscape Planting Concept Plan

APPROVED FOR RELEASE

DATE	DRAWN	CHECKED
------	-------	---------

28/01/11 VB CG

PROJECT No.	DRAWING No.	ISSUE
-------------	-------------	-------

AEV02 AEV02-DD-402 B

COPYRIGHT OF DESIGN SHOWN HERE IS RETAINED AND AUTHORITY FOR ANY REPRODUCTION, IF IN DOUBT ASK. FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT REPRODUCE DRAWINGS ON SITE. COMPUTER DRAWING FILE: S:\AEV02 Lourdes Village\CAD

28 JAN 2011



- LEGENDS
- Existing Trees - Remove
 - Existing Trees - Retain & Protect (w/ Tree Protection Zone AS4907)
 - Existing Trees - Relocate
 - Tree Identification Code - refer Arborist Construction Impact Assessment; Botanics; dated January 2011

NOTE: Tree survey and species identification specified in this plan are sourced from the following:

Arborists Assessment - Botanics, Tree Wise People

sym. studio does not take responsibility for the accuracy of this information and its contents should be verified before any construction works are carried out.

28/01/11	B	REVISED DEVELOPMENT APPROVAL	VB
30/06/10	A	DEVELOPMENT APPROVAL	VB
DATE	ISSUE	AMENDMENT	BY

PROJECT
LOURDES VILLAGE - KILLARA

CLIENT

LANDSCAPE ARCHITECT
1 BALLS HEAD ROAD
WAVERTON, 2060 NSW
SYDNEY, AUSTRALIA
T: 91 2 8620 2586
F: 91 2 8620 2587
www.symstudio.com

sym. studio

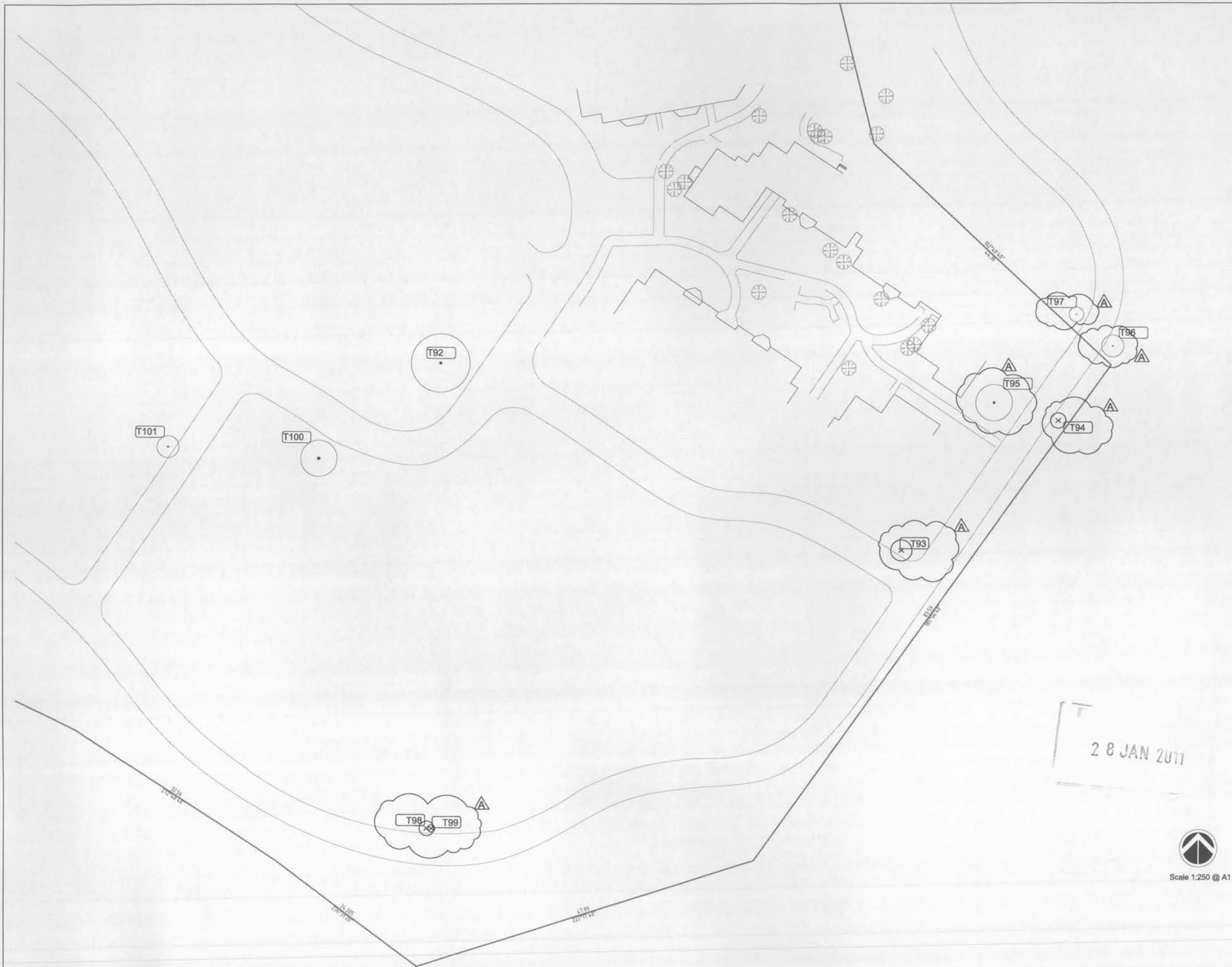
DRAWING TITLE
Tree Retention / Removal Plan

DATE	DRAWN	CHECKED
28/01/11	VB	CG
PROJECT No.	DRAWING No.	ISSUE
AEV02	AEV02-DD-502	B

COPYRIGHT OF DESIGN SHOWN HERE IS RETAINED AND AUTHORITY FOR ANY REPRODUCTION IF IN DOUBT ASK, FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT REUSE SUPERSEDED DRAWINGS ON SITE.
COMPUTER DRAWING FILE: S:\AEV02 Lourdes Village\CAD

A PLAN 2 of 3 (OVERALL SITE)

28 JAN 2011



LEGENDS

- Existing Trees - Remove
- Existing Trees - Retain & Protect (w/ Tree Protection Zone AS4907)
- Existing Trees - Relocate
- Tree Identification Code - refer Arborist Construction Impact Assessment; Botanica; dated January 2011

NOTE: Tree survey and species identification specified in this plan are sourced from the following:

Arborists Assessment - Botanica, Tree Wise People

sym. studio does not take responsibility for the accuracy of this information and its contents should be verified before any construction works are carried out.

28/01/11 A REVISED DEVELOPMENT APPROVAL VB
DATE ISSUE AMENDMENT BY

PROJECT
LOURDES VILLAGE - KILLARA

CLIENT
aevum LIMITED

LANDSCAPE ARCHITECT
1 BALLS HEAD ROAD
WAVERTON, 2060 NSW
SYDNEY, AUSTRALIA
T: 61 2 8920 2566
F: 61 2 8920 2567
www.symstudio.com
sym. studio

DRAWING TITLE
Tree Retention / Removal Plan

APPROVED FOR RELEASE

DATE	DRAWN	CHECKED
28/01/11	VB	CG
PROJECT No.	DRAWING No.	ISSUE
AEV02	AEV02-DD-503	A

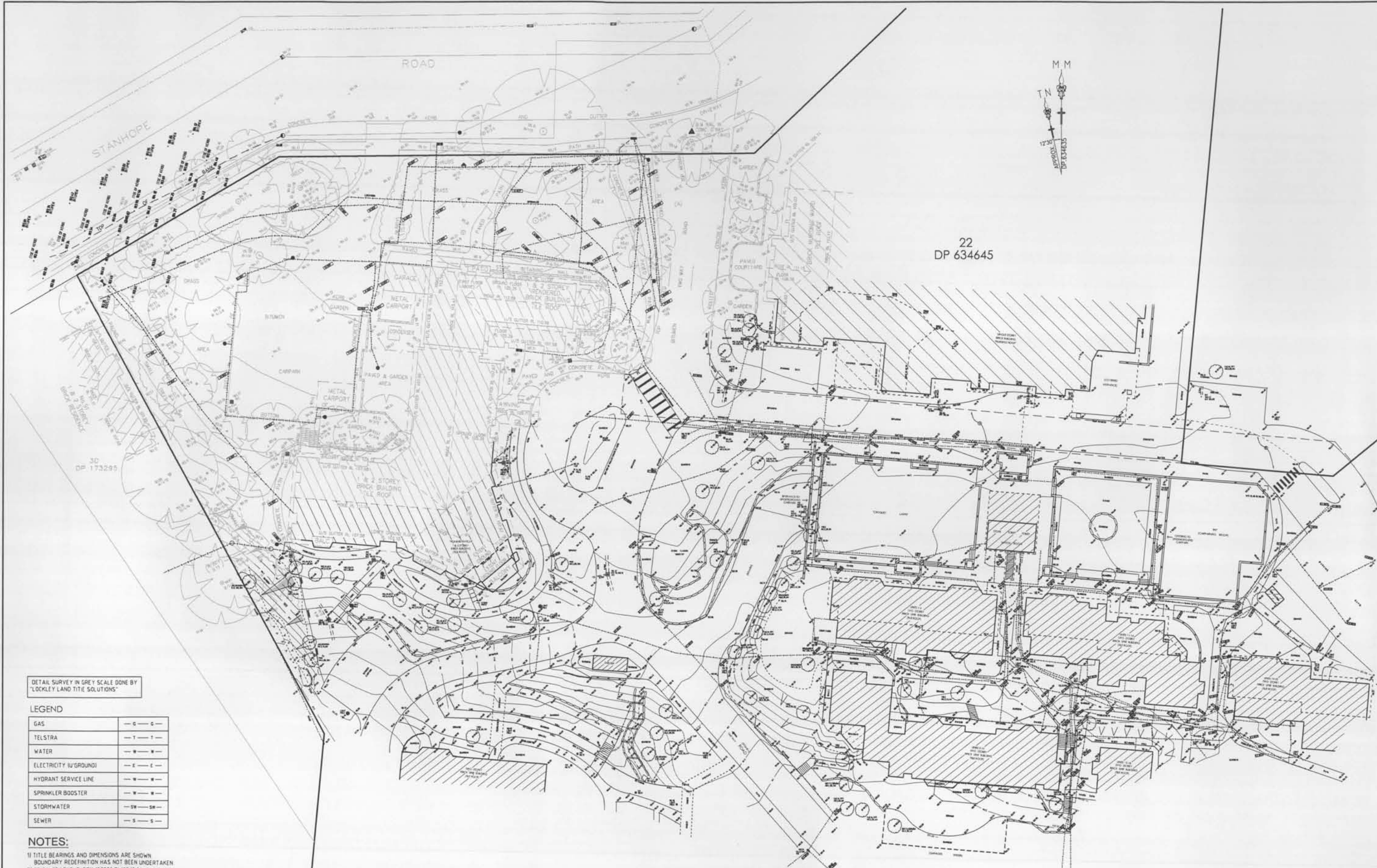
COPYRIGHT OF DESIGN SHOWN HERE IS RETAINED AND AUTHORITY FOR ANY REPRODUCTION, IF IN DOUBT ASK. FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT KEEP SUPERSEDED DRAWINGS ON SITE.
COMPUTER DRAWING FILE: S:\AEV02 Lourdes Village\CAD

A PLAN 3 of 3 (OVERALL SITE)



Scale 1:250 @ A1

28 JAN 2011



DETAIL SURVEY IN GREY SCALE DONE BY
"LOCKLEY LAND TITLE SOLUTIONS"

LEGEND

GAS	— G — G —
TELSTRA	— T — T —
WATER	— W — W —
ELECTRICITY (U/GROUND)	— E — E —
HYDRANT SERVICE LINE	— H — H —
SPRINKLER BOOSTER	— B — B —
STORMWATER	— SW — SW —
SEWER	— S — S —

NOTES:

- 1) TITLE BEARINGS AND DIMENSIONS ARE SHOWN
BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN
- 2) ORIGIN OF LEVELS: SSM 153792 RL102.15 (AHD) SCIMS
- 3) SITE COMPREHENSIVE LOTS 21 & 22 IN DP 634645
- 4) SITE AREA: LOT 21 3498m² LOT 22 4.94ha
- 5) (G) DENOTES GUTTER LEVEL (M/1) DENOTES MULTIPLE TRUNK
0.30/0.80 DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH
- 6) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY IF TREE SPECIES IDENTIFICATION IS IMPORTANT
FOR DESIGN OR HERITAGE REASONS THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST
- 7) (C) DENOTES RIGHT OF CARRIAGEWAY 12 WIDE, 5 WIDE & VARIABLE
- 8) (S) DENOTES RIGHT OF CARRIAGEWAY 5 WIDE & VARIABLE
- 9) SERVICE PIT LOCATIONS HAVE BEEN DETERMINED BY SURVEY. LOCATION OF UNDERGROUND SERVICES
HAVE BEEN PLOTTED FROM INFORMATION PROVIDED BY RELEVANT SERVICE AUTHORITIES FOLLOWING A
DIAL BEFORE YOU DIG SEARCH AND ON-SITE UNDERGROUND DETECTION BY AUSTRALIAN LOCATING SERVICES (A.L.S.)
PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION A THOROUGH SEARCH OF ALL AUTHORITIES SHOULD BE
MADE TO DETERMINE THE EXTENT AND NATURE OF SERVICES. USE OF PIT HOLE AND HAND AUGERS SHOULD BE USED
WHEN EXAMINING SERVICES (SERVICES WITHIN CABLE TRAYS NOT SEPARATELY IDENTIFIED)
- 9) CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS ARE ACCURATE AND SHOULD BE ADOPTED

ISSUE	DATE	AMENDMENT

TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER "LOURDES RETIREMENT VILLAGE", KILLARA	
LGA: KU-RING-GAI	REFERENCE: 21338
CLIENT: AVEUM PTY LTD	DATE: 28-10-09 SHEET 1
SCALE (AT A1) 1:200	DATUM: AHD
SURVEYOR: AW	

Norton Survey Partners
SURVEYORS & LAND TITLE CONSULTANTS
A.C.N. 199 734 968
SUITE 1
670 DARLING STREET
ROZELLE N.S.W. 2039
PH +61 2 9555 2744
FAX +61 2 9555 2766
office@nspartners.com.au



